

PROVIDENCE HOUSING AUTHORITY



REQUEST FOR QUOTES

VENTILATION AIR DUCT CLEANING & DECONTAMINATION SERVICES – AUTHORITY WIDE

ISSUE DATE: MONDAY, APRIL 22, 2024
BID DUE DATE: TUESDAY, MAY 21, 2024
BY 10:00 AM EST.

ROXANA ROSARIO
JUNIOR PROJECT MANAGER
PROVIDENCE HOUSING AUTHORITY
40 Laurel Hill Avenue
Providence, RI 02909
rrosario@provhousing.org
www.provhousing.org

PROVIDENCE HOUSING AUTHORITY

REQUEST FOR QUOTES

The Housing Authority of the City of Providence Rhode Island is accepting quotes from qualified vendors for the **Ventilation Air Duct Cleaning & Decontamination Services – Authority Wide** project located in Providence, RI.

Quotes will be received until **10:00 AM EST on Tuesday, May 21, 2024**, at the Facilities Management Department of the Providence Housing Authority, marked “**Ventilation Air Duct Cleaning & Decontamination Services – Authority Wide**” and addressed to the attention of:

Providence Housing Authority
Facilities Management Department
40 Laurel Hill Avenue
Providence, RI 02909
ATTN: **Roxana Rosario**

A pre-bid meeting is scheduled to be held **on Tuesday, May 7, 2024, at 10:00 AM**, at the **Facilities Management Building, 40 Laurel Hill Ave. Providence, RI 02909**.

Bidders are strongly encouraged to attend the Pre-Bid Meeting. The authority believes that vendors who attended the Pre-Bid Meeting are more likely to submit more responsible / responsive Bids.

All pre-bid requests for information (RFIs) must be submitted in writing no later than **Monday, May 13, 2024, by 2:00 PM**, prior to when bids are due. Address all pre-bid questions or requests for information pertaining to this project and bid documents to **Roxana Rosario, Junior Project Manager, via email at rosario@provhousing.org**. No RFI's will be addressed after this deadline. The RFI Response(s) will be posted to the PHA website for all potential bidders to review prior to submitting a bid.

It shall be the responsibility of each bidder to be aware of and to abide by all dates, times, conditions, requirements, and specifications set forth in this IFB and any addendum issued by the Authority. By virtue of completing, signing, and submitting the completed documents, the bidder is stating his/her agreement to comply with all conditions and requirements set forth within those documents.

Minority and Woman-Owned Businesses are encouraged to submit bids. Bidders will be required to make positive efforts to use small and minority-owned businesses and to offer employment, training, and contracting opportunities in accordance with Section 3 of the Housing & Urban Development Act of 1968.

Individuals requiring interpreter services for the hearing-impaired should notify the Facilities Management Department by calling (401) 709-2201 seventy-two (72) hours prior to any event.

It is the responsibility of any and all bidders to consult the Providence Housing Authority website at <https://provhousing.org/working-with-pha/vendors/> for the complete Invitation for Bids and any addendums, RFI responses, pre-bid meeting agenda and notes, prior to submitting bids. Detailed information regarding the work encompassed under this project is provided in the Scope of Work section of this Invitation for Bids.

The Housing Authority of the City of Providence, Rhode Island

Roxana Rosario, Junior Project Manager

PROVIDENCE HOUSING AUTHORITY

SCOPE OF WORK

The Providence Housing Authority is seeking qualified vendors for the **Ventilation Air Duct Cleaning & Decontaminations Services – Authority Wide** project at ten (10) Authority-owned locations across Providence, RI. All work is to be completed in accordance with the Invitation for Bids, Scope of Work, and Plans, and to the satisfaction of the Authority.

Project Locations:

LOCATION OF WORK	DETAILS OF WORK
Codding Court 140 Dodge Street, Providence, RI 02907	Clean and decontaminate four (4) air handling units (RTU-3, RTU-4, RTU-1, & RTU-2) and related ductwork, including nine (9) VAV boxes servicing the administration office areas as well as the community room areas (SEE Codding Court M.1 and M.2)
Facilities Management 40 Laurel Hill Avenue, Providence, RI 02909	Clean and decontaminate two (2) air handling units (AC-1 and HVAC-2) and related ductwork, including eleven (11) VAV boxes servicing the administration offices (AC-1) and warehouse (HVAC-2) areas (SEE Facilities Management M100)
Hartford Park 50 Laurel Hill Avenue, Providence, RI 02909	Clean and decontaminate one (1) air handling unit (HVAC-1) and related ductwork, including twelve (12) VAV boxes servicing the basement, first-floor Boys & Girls Club, and the second-floor social services administration offices (SEE Hartford Park 1 M.1-1 and M.1-0)
Hartford Park 300 Hartford Avenue, Providence, RI 02909	Clean and decontaminate three (3) air handling unit (RTU-1, HVAC-1.1, and HVAC-1.2) and related ductwork servicing the cubicles, lobby, perimeter offices, as well as the community room and security office (SEE Hartford Park 2 M.4, M.4-SK4, & M.4-0)
Manton Heights 31 Salmon Street, Providence, RI 02909	Clean and decontaminate two (2) air handling units (AC-1 and AC-2) and related ductwork at the administration offices and two (2) inline reheat coils servicing the Joslin Center (SEE Manton Heights HVAC-2 and ME.1)
Dexter Manor 100 Broad Street, Providence, RI 02903	Clean and decontaminate three (3) air handling units (HVAC-2, AHU-1, and AHU-2) and related ductwork servicing the community room, clinic, and bathrooms, as well as the ground floor and second-floor administration offices (SEE Dexter Manor M.1ADD, M.1, M.2, & HVAC-1)
Dominica Manor 100 Atwells Avenue, Providence, RI 02903	Clean and decontaminate one (1) return duct located under the stage area, supply ductwork excluded (SEE M.308, M.301, & M.401)
Carroll Tower 243 Smith Street, Providence, RI 02908	Clean and decontaminate two (2) air handling units (HVAC-1 South and HVAC-2 North) and related ductwork servicing the community room, maintenance office, dining room, and TV room (SEE Carroll Tower M.1Ground and M.1First)
Kilmartin Plaza 160 Benedict Street, Providence, RI 02909	Clean and decontaminate one (1) air handling unit (AC-1) and related ductwork servicing the community room, clinic, and bathrooms (SEE Kilmartin Plaza HVAC-2 and HVAC-3)
Parenti Villa 25 Tobey Street, Providence, RI 02909	Clean and decontaminate two (2) air handling units (HVAC-1 South and HVAC-2 North) and related ductwork servicing the community room, maintenance office, dining room, and TV room (SEE Parenti Villa M.1Ground and M.1First)

PROVIDENCE HOUSING AUTHORITY

Summary of Work:

- The Contractor shall clean and decontaminate the ventilation / air duct system at each of the ten (10) buildings and specific locations listed above.
- The Contractor shall provide before, during, and after photographs for each of the buildings where work is performed.
- The Contractor shall provide an hourly rate summary of all applicable personnel for this project.
- The Contractor shall provide the Owner with a preliminary schedule of work no later than ten (10) days following the Notice to Proceed and prior to any work commencing at the job site.
- All planned work shall be communicated to the Junior Project Manager at least three (3) days prior to the date of performance of any work before accessing each of the buildings in order to allow time to notify the respective tenants and office staff at each of the buildings.
- The Contractor shall be responsible for ensuring that all personnel (including subcontractors) on site adhere to OSHA Safety Standards, including the Lockout / Tagout procedures at all times during this project.

PROVIDENCE HOUSING AUTHORITY

CONTRACTOR RESPONSIBILITIES

General:

- The Contractor shall supply all labor, materials, equipment, tools, construction equipment, machinery, water, heat, utilities, transportation and other facilities and services necessary for the proper execution and completion of the work.
- The Contractor shall obtain any permits required to perform work as outlined in the bid documents. The Authority does not pay / get charged permit fees by the city.
- Work is to be performed in accordance with this bid, scope of work, specifications, and amendments, if any.
- The Authority only recognizes one contractor as party to this contract.
- The Contractor shall promptly submit written notice, within five business days of discovery to the Authority of observed variance of contract documents from legal requirements.
- The Contractor shall comply with all applicable laws, ordinances, and codes of the State and local governments, and shall commit no trespass on any public or private property in performing any of the work embraced by this Contract.
- The Contractor will be responsible for all their material, equipment, and other items onsite.
- Storage of materials in public, common or private areas within the project is prohibited.
- The Contractor's Project Manager or Site Supervisor will participate in project meetings with the Authority when scheduled.

Site Safety & Precautions:

- All work performed pursuant to this Contract must conform and comply with all applicable local, state, and federal codes, statutes, laws, and regulations.
- The Contractor shall supply the Authority with a detailed safety plan, as work will not be allowed to start without this information in place.
- The Contractor shall follow all OSHA safety requirements.
- The Contractor shall supply all safety or warning signs, equipment, plastic covers, barricades, and any other specialty items that may be required.
- The Contractor shall provide adequate protection for all persons and all Authority personnel within the working area.
- The Contractor shall not, at any time, leave work in an unsafe condition or any conditions that might cause personal injury or property damage, but shall continue to work until work is in a safe space to stop.
- The Contractor shall keep the working area sufficiently clear of equipment, material, and implements of service to prevent endangering persons and damage to the Authority property and to avoid an unsightly condition. Removal of such items shall be performed promptly upon completion of work.
- At no time shall a Contractor allow anyone other than an employee of the Authority into the work area.
- The Contractor shall ensure that clear, safe, passage remains available for access of tenants in the building if applicable.
- The Contractor shall secure work site at the end of each day to reduce risk of trespass and to ensure safety.
- The Contractor shall be responsible for removing and protecting any equipment that may interfere with contract operations. Immediately upon completion of work activities in each area, the Contractor shall return the area to a pre-work state satisfactory to the Authority.

Debris Removal:

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- The Contractor shall be responsible for the physical removal and lawful disposal of all debris generated during the work of this project in accordance with all local, state, and federal requirements. These costs shall be factored into the pricing submitted by the Contractor.
- The Contractor shall not use the Authority facilities for disposal of debris and waste material, whether hazardous or non-hazardous.

Personnel:

- All employees of the Contractor, subcontractors, or other representatives shall be skilled in the type of work for which they are employed on the project and shall work under the direction of a competent superintendent.
- All employees of the Contractor, subcontractors, or other representatives shall be licensed as required by local, state, or federal regulations to perform the type of work for which they are employed on the project.
- All employees of the Contractor, subcontractors, or other representatives shall be legally able to work in the United States.
- The Contractor is responsible for all personnel involved in the work, including those of his direct employ, his sub-contractors and suppliers of materials and equipment and/or labor.
- Should the Authority deem anyone employed in the work incompetent or unfit for their duties, the Contractor shall remove such employee from the work and shall not re-employ them for work within the Authority on this project or any other project without written permission from the Authority. The Contractor shall select and employ the replacement personnel.
- The Contractor, its employees, subcontractors, and or other representatives shall wear identifying company uniform and employee badge while working on the Authority properties.
- The Contractor must submit a sample of their ID badge prior to signing a contract if requested.
- All personnel shall be neat in appearance and shall conduct their work in a professional manner.
- The Contractor shall furnish the necessary qualified supervision to oversee all operations.
- The Contractor shall enforce strict discipline and good order among employees.

Work Schedule:

- The Contractor shall provide appropriate staffing to perform work in a timely manner.

Damage to the Authority Property:

- The Contractor shall be responsible for repair of any damage to the Authority property and restoration of any area disturbed by contractor's or subcontractor's work to the satisfaction of the Authority's Authorized Representative prior to final payment.
- Any repair / restoration of the damaged area shall be performed at no cost to the Authority.

Sub-Contracting:

- Unauthorized sub-contracting is prohibited. The successful proposer shall not assign any right, nor delegate any duty for the work proposed pursuant to this IFB (including, but not limited to, selling, or transferring the contract) without the prior written consent of the Authority.
- Any purported assignment of interest or delegation of duty, without the prior written consent of the Authority shall be void and may result in the cancellation of the contract or in the full or partial forfeiture of funds paid to the successful proposer as a result of the proposed contract.

Keys And Access:

- The Contractor shall ensure Authority facilities & materials are secured at the close of each day.
- The Contractor, if issued an electronic key card, shall maintain strict control of it for the duration of the project.
- The Contractor shall immediately notify the Authority if the key card has been lost.
- The Contractor shall return the key card to the Authority at the close of the project.

PROVIDENCE HOUSING AUTHORITY

QUOTE SUBMISSION FORM

Project: Ventilation Air Duct Cleaning & Decontamination Services – Authority Wide

Bid Due: Tuesday, May 21, 2024, by 10:00 AM EST

Date: _____

Contractor: _____

Owner / Officer Title: _____

Address: _____

City, State, Zip Code: _____

Email: _____

To:
Providence Housing Authority
Facilities Management Department
40 Laurel Hill Avenue
Providence, RI 02909

(1.) The undersigned, having become familiar with the local conditions affecting the cost of the work and project requirements for the **Ventilation Air Duct Cleaning & Decontamination Services – Authority Wide** at the above properties located in Providence, Rhode Island, including Bidding Requirements, Contract Documents, Drawings, Technical Specifications and Amendments, if any thereto, and on file at the office of the Authority, hereby proposes to furnish all labor, materials, equipment and services required to complete the work, all in accordance therewith for the following sums of money.

Notes:

- * Providence Housing Authority is Tax Exempt.
- * Bids shall be both written in words and shown in figures.

PROJECT TOTAL: LABOR AND MATERIALS (FROM BREAKDOWN OF BID PER LINE ITEM):

_____ \$

Words

Figures

PROVIDENCE HOUSING AUTHORITY

BREAKDOWN OF BID PROPOERAL PER FOLLOWING LINE ITEM

LOCATION OF WORK	COSTS
Codding Court Community Room & Offices (140 Dodge Street, Providence, RI 02907)	\$
Facilities Management Building Offices & Warehouse (40 Laurel Hill Avenue, Providence, RI 02909)	\$
Hartford Park Basement, Boys & Girls Club, & Offices (50 Laurel Hill Avenue, Providence, RI 02909)	\$
Hartford Park Community Room, Offices, Security, & Lobby (300 Hartford Avenue, Providence, RI 02909)	\$
Manton Heights Joslin Center and Offices (31 Salmon Street, Providence, RI 02909)	\$
Dexter Manor Offices and Community Room (100 Broad Street, Providence, RI 02903)	\$
Dominica Manor Community Room Stage Area (100 Atwells Avenue, Providence, RI 02903)	\$
Carroll Tower Community Room, Maintenance Office, Dining / TV Room (243 Smith Street, Providence, RI 02908)	\$
Kilmartin Plaza Community Room (160 Benedict Street, Providence, RI 02909)	\$
Parenti Villa Community Room, Maintenance Office, Dining / TV Room (25 Tobey Street, Providence, RI 02909)	\$
TOTAL COSTS	\$

The Bidder acknowledges below, by number and date, the receipt of Amendments to this solicitation of bids.

AMENDMENT #	ISSUE DATE OF AMENDMENT	DATE OF RECEIPT OF AMENDMENT

(2.) In submitting this bid, it is understood that the right is reserved by the Authority to reject any and all bids and to waive any informalities in the bidding. If written notice of the acceptance of this bid is mailed, telegraphed or delivered to the undersigned within 90 days after the opening thereof, or at any time thereafter before this bid is withdrawn, the undersigned agrees to execute and deliver a contract in the prescribed form and furnish the required bond and certificates of required insurance within seven (7) days after the contract is awarded to him.

(3.) Attached hereto is an Affidavit in proof that the undersigned has not entered into any collusion with any person in respect to this proposal or any other proposal or the submitting of proposals for the contract for which this proposal is submitted.

(4.) The bidder represents that he **() has, () has not** participated in a previous contract or subcontract subject to the equal opportunity clause prescribed by Executive Orders 10923, 1114, or 11246 or the Secretary of Labor: that he **() has, () has not**, filed all required compliance reports; and that representations indicating submission of required compliance reports, signed by proposed subcontractors, will be obtained prior to subcontract awards. The above representation need be submitted only in connection with contracts or subcontracts exceeding \$10,000.00.

PROVIDENCE HOUSING AUTHORITY

(5.) Certification of Non-segregated Facilities. By signing this bid, the bidder certifies that he does not maintain or provide for his employees any segregated facilities at any of his establishments, and that he does not permit his employees to perform their services at a location, under his control, where segregated facilities are maintained. He certified further that he will not maintain or provide for his employees any segregated facilities at any of his establishments, and that he will not permit his employees to perform their services at any location, under his control, where segregated facilities are maintained. The bidder agrees that a breach of this certification is a violation of the Equal Opportunity Clause in this contract. As used in this certification, the term "segregated facilities" means any waiting rooms, work areas, rest rooms, restaurants and other eating areas, time clocks, locker rooms and other storage or dressing areas, parking lots, drinking fountains, recreation or entertainment areas, transportation, and housing facilities, provided for employees which are segregated on the basis of race, color, religion, or national origin, because of habit, local custom or otherwise. He further agrees that (except where he has obtained identical certifications from proposed subcontractors for specific time periods) he will obtain identical certifications from proposed subcontractors prior to the award of subcontracts exceeding \$10,000.00; that he will retain such certifications in his files; and that he will forward a notice to his proposed subcontractors as provided in the instructions to bidders.

Note: The penalty for making false statements in offers is prescribed in 18 U.S.C. 1001.

Vendor Address:

Telephone:

Email:

Federal ID Number:

Contractor Registration Number:

MBE/WMBE Registration Number:

Subscribed and sworn to before me this

____ day of _____, 20____.

(Notary Public)

My commission expires _____, 20____.

Vendor Name:

By:

Title:

Signature and Date:

Owner, if bidder is an individual.

Partner, if bidder is a partnership.

Officer, if bidder is a corporation, affix seal.

{Corporate Seal}



PROVIDENCE HOUSING AUTHORITY

NON-COLLUSIVE AFFIDAVIT

State of _____

County of _____

_____ being first duly sworn, deposes and says:

That (he / she) is (the owner / partner / officer) of the firm of:

the party making the foregoing proposal or bid, that such proposal or bid is genuine and not collusive or sham; that said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference, with any person, to fix the bid price of affiant or of any other bidder, to fix overhead, profit, or cost element of said bid price, or that of any other bidder, or to secure any advantage against the Housing Authority of the City of Providence, Rhode Island, or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

Signature & Title:

- Owner:** if the bidder is an individual
- Partner:** if the bidder is a partnership
- Officer:** if the bidder is a corporation

Subscribed and sworn to before me this

____ day of _____, 20____.

(Notary Public)

My commission expires _____, 20____.

PROVIDENCE HOUSING AUTHORITY

VENDOR DISCLOSURE AGREEMENT

Entity Completing Form: _____

Address: _____

Company Contact Name: _____

Telephone: _____

The Providence Housing Authority requires the following written disclosure prior to award:

Every contractor, union, or vendor that is seeking or has previously obtained a contract, change order, or individual transactions in an aggregate of \$3,000.00, shall provide to the Procurement Office a written disclosure of any conflicts of interest that may exist.

Relationship to a Providence Housing Authority employee, Board Member, or Agent* involved in making the award. A relationship can be defined as: father, mother, son, daughter, brother, sister, uncle, aunt, first cousin, nephew, niece, husband, wife, father-in-law, mother-in-law, son-in-law, daughter-in-law, brother-in-law, sister-in-law, stepfather, stepmother, stepson, stepdaughter, stepbrother, stepsister, half-brother, or half-sister; a partner; or an organization which employs, is negotiating to employ, or has an arrangement concerning prospective employment of any of the above.

* Agent is defined as the Providence Housing Authority legal counsel

I certify that I am not related to a Providence Housing Authority employee, Board member, or Agent

I am not aware of any relatives being employed by the Providence Housing Authority

I am related to an individual and disclose the following information:

Name(s) of Individual(s):

Address(es) of Individual(s):

I certify that all the information above is true and complete. I also understand that if my situation changes during any contractual period, that I will disclose the change in writing to the Procurement Officer at the PHA.

Signature

Date

CODDING COURT
Offices and Community Rooms
140 Dodge Street
M.1



THE SALISBURY GROUP
 INCORPORATED

ARCHITECTS
 116 CHESTNUT STREET
 PROVIDENCE
 RHODE ISLAND
 (401) 274-2613
 (401) 274-4558 FAX
 TSGARCHITECTS@HSN.COM

TSG

CREATIVE ENVIRONMENT CORP.
 MECHANICAL ENGINEERS
 450 WABEN AVE.
 EAST PROVIDENCE, R.I.
 PHONE : (401) 438-7233
 FAX : (401) 438-7820
 E-MAIL : CEC1975@aol.com

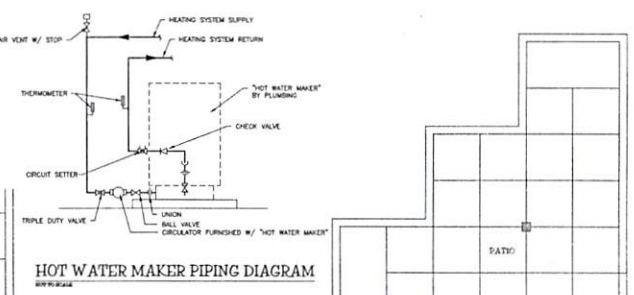
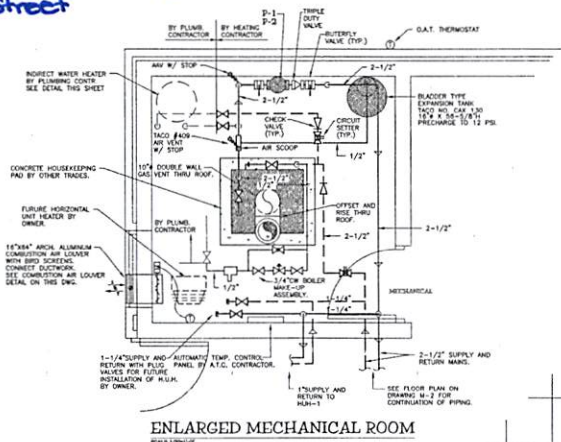
PROVIDENCE HOUSING AUTHORITY
CODDING COURT
 ADMINISTRATION/SOCIAL SERVICES BUILDING

ISSUED FOR CONSTRUCTION

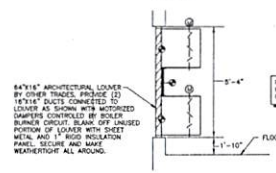
MECHANICAL FLOOR PLAN
 AIR DISTRIBUTION
 MECHANICAL ROOM

SCALE: 1/4"=1'-0" DWN BY: EWT/DAE
 JOB NO: 8897.1 CND BY:
 DATE: MARCH 2000
 REVISIONS:

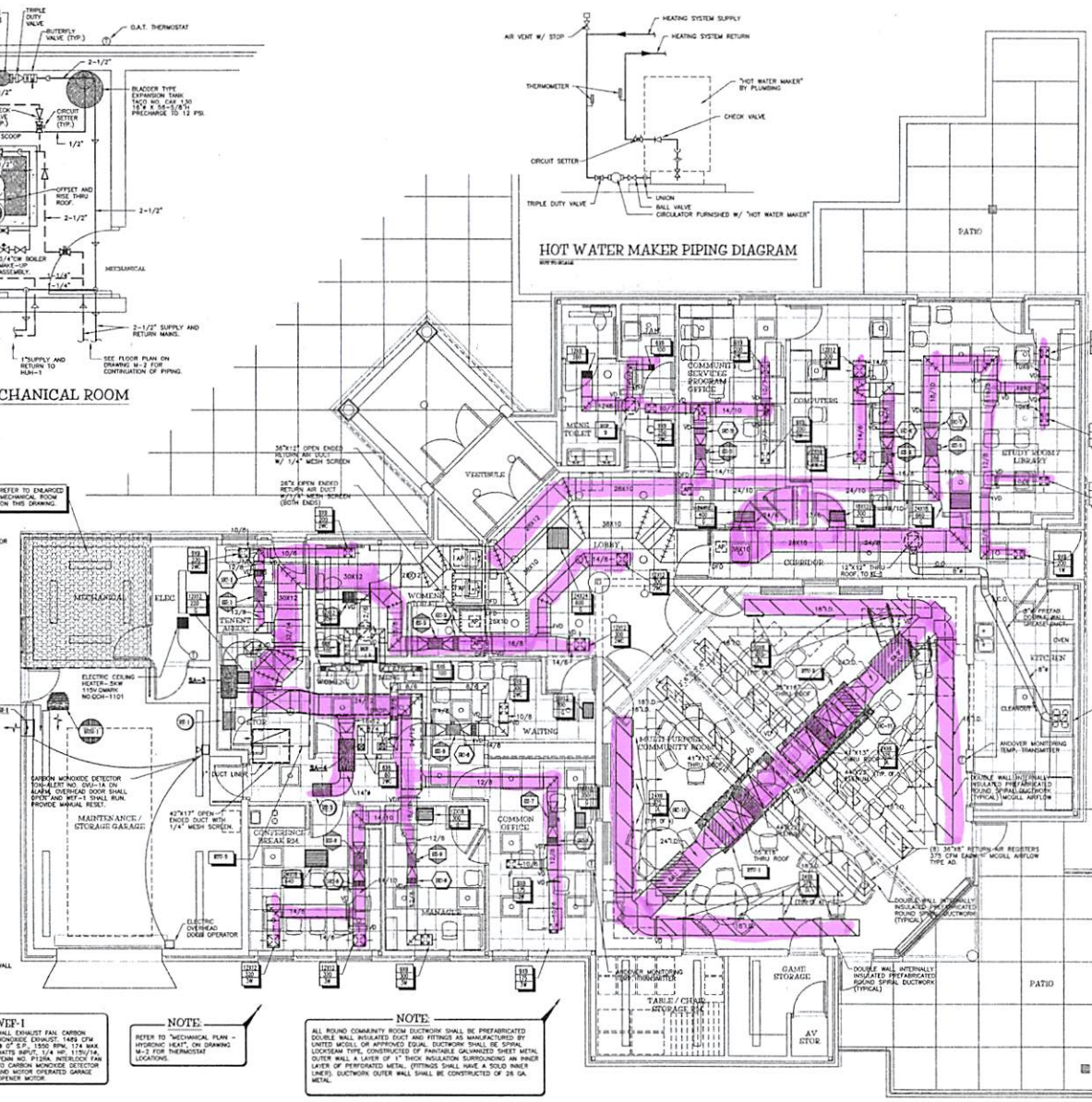
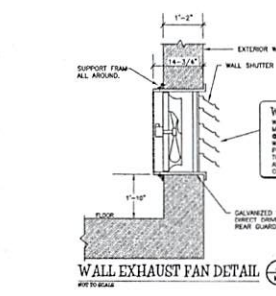
M1



- LEGEND**
- RETURN PIPING
 - SUPPLY PIPING
 - HC-1 HYDRONIC HEATING COIL
 - 12-3 VARIABLE AIR VOLUME DAMPER W/ REMOTE HEAT CONDUCTS
 - DFD DYNAMIC RATED FIRE DAMPER
 - DUCT MOUNTED ACCESS PANEL
 - VOLUME DAMPER
 - RF ROOF EXHAUST FAN
 - CRD CEILING RETURN AIR GRILLE CARNES NO. RFA
 - CRD CEILING EXHAUST REGISTER CARNES NO. RFA
 - SA SOUND ATTENUATOR MSCAL - AIRFLOW
 - BD BYPASS DAMPER
 - RTU ROOF TOP UNIT
 - PF PREFABRICATED, PREINSULATED DUCTWORK - MOBILE AIRFLOW
 - DL DOWN LOUVER - CARNES NO. SFA
 - CD CEILING DIFFUSER - CARNES NO. SFA
 - ZV ZONE VALVE
 - AD ACCESS DOOR IN FM ENCLOSURE
 - BC BALANCING COCK
 - CL CLEANOUT
 - WT WALL MOUNTED THERMOSTAT



COMBUSTION AIR LOUVER DETAIL
 MARCH 1999/00

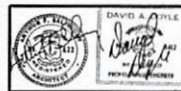


NOTE:
 REFER TO 'MECHANICAL PLAN - MECHANICAL ROOM' ON DRAWING M-2 FOR THERMOSTAT LOCATIONS

NOTE:
 ALL ROUND COMMON ROOM DUCTWORK SHALL BE PREFABRICATED DOUBLE WALL INSULATED DUCT AND FITTINGS AS MANUFACTURED BY UNITED MODEL OR APPROVED EQUAL. DUCTWORK SHALL BE SPONGE LOCKSEAM TYPE, CONSTRUCTED OF PAPERGLASS REINFORCED SHEET METAL OUTER WALL, A LAYER OF 1" THICK INSULATION SURROUNDING AN INNER LAYER OF PERFORATED METAL. FITTINGS SHALL HAVE A SOLID INNER LINER. DUCTWORK OUTER WALL SHALL BE CONSTRUCTED OF 28 GA. METAL.

CODDING COURT
 Coddling Court M.1

CODDING COURT
 Offices and Community Room
 140 Dodge Street
 M.2



THE SALISBURY GROUP
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PROVIDENCE HOUSING AUTHORITY
CODDING COURT
 ADMINISTRATION / SOCIAL SERVICES BUILDING

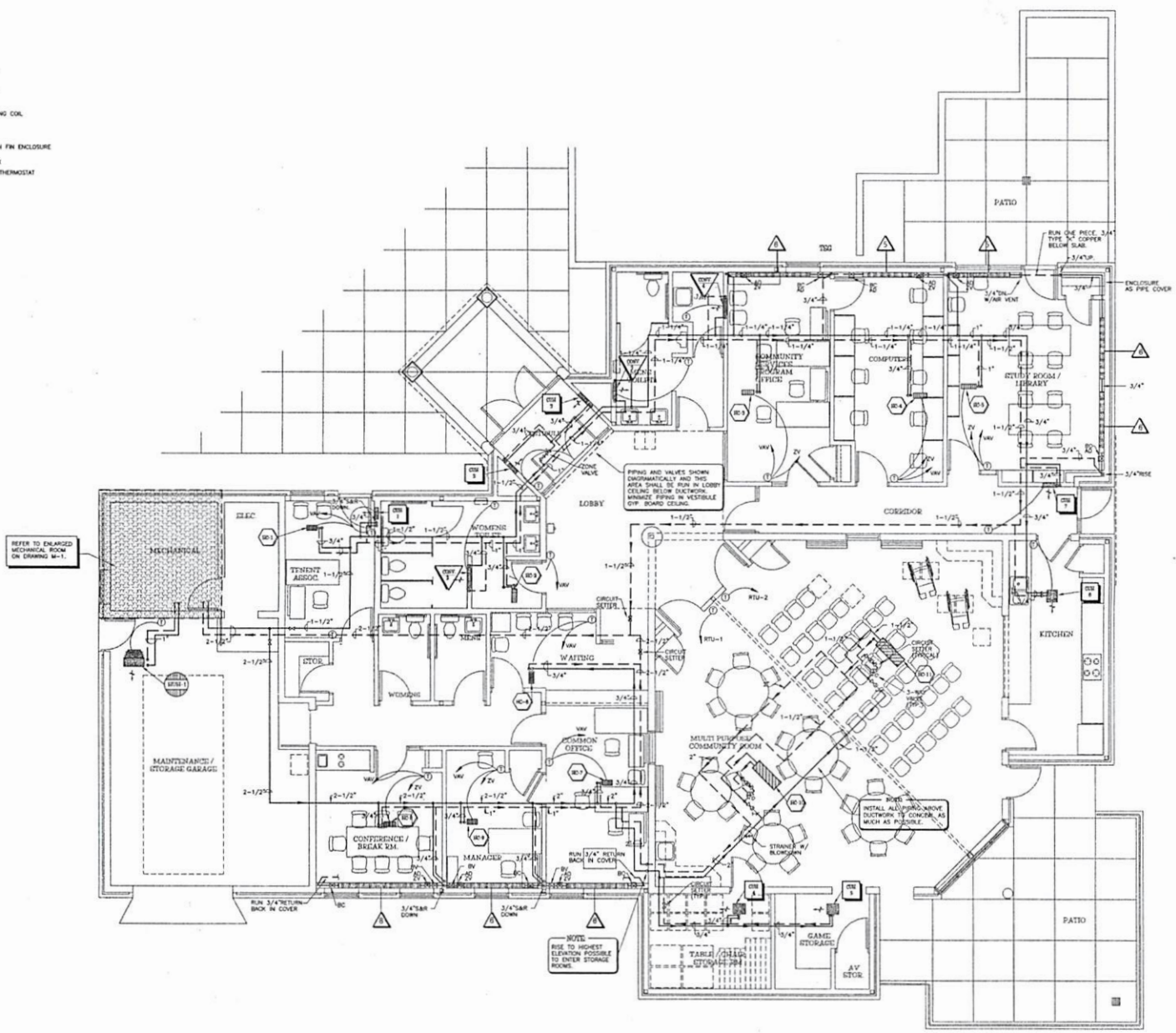
ISSUED FOR CONSTRUCTION

MECHANICAL FLOOR PLAN
 AIR DISTRIBUTION - MECHANICAL ROOM

SCALE: 1/4"=1'-0"	DRN BY: LWD/DUE
JOB NO. 807.1	CAD BY:
DATE: MARCH 2000	
REVISIONS:	

M2

- LEGEND**
- RETURN PIPING
 - SUPPLY PIPING
 - HC-H HYDRONIC HEATING COIL
 - ZV ZONE VALVE
 - AD ACCESS DOOR IN FIN ENCLOSURE
 - BC BALANCING COCK
 - MT WALL MOUNTED THERMOSTAT
 - CON CONNECTOR
 - UHT UNIT HEATER

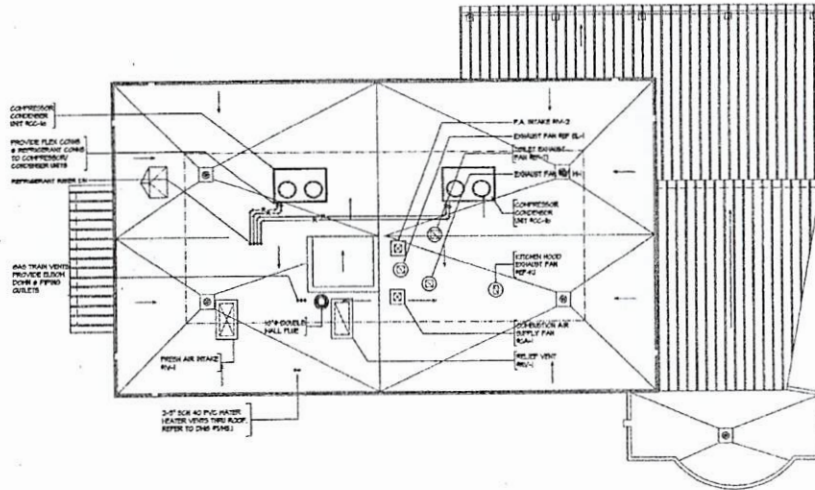


MECHANICAL FLOOR PLAN - HYDRONIC HEAT
 REAR 10/1/00

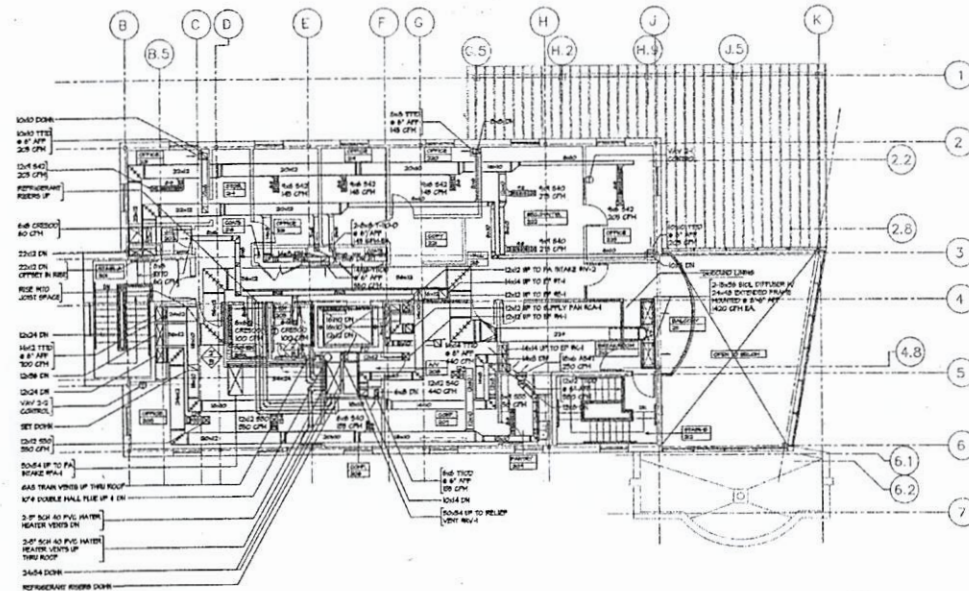
CODDING COURT
 Coddling Court M.2



SOCIAL SERVICES & BOYS/GIRLS CLUB
 Basement, Boys & Girls Club, and Offices
 50 Laurel Hill Avenue
 M.1-1



2 MECHANICAL: ROOF PLAN
 M.1.1 SCALE: 1/8" = 1'-0"



1 MECHANICAL: SECOND FLOOR PLAN
 M.1.1 SCALE: 1/8" = 1'-0"

GENERAL NOTES

The drawings are a general diagrammatic and not intended to convey the scope of work or the location of all equipment. The location of all indicated items that are not noted by dimension are approximate only.

Make-up outdoor air conditions at all points. Where space conditions appear inadequate, notify the Architect before proceeding with the installation.

Coordinate the exact location of all materials with the work of other trades and with the existing conditions prior to installation.

The piping depth as indicated is schematic and diagrammatic in scope and is not intended to show all items which may be required. The exact pipe route shall be field coordinated.

Refer to Architectural Reflected Ceiling Plan and Interior Elevations for the exact location of registers and diffusers.

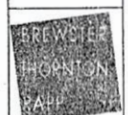
All system shut-down shall be with prior approval of the Architect and Owner. Repairs to services shall be scheduled to disturb other trades.

Refer to the PROJECT SPECIFICATION for additional requirements.

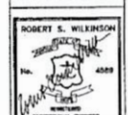


WILKINSON ASSOCIATES INC.
 COMMERCIAL DIVISION
 128 Chestnut Street
 Providence, R.I.
 02403
 Tel. 401.844.1000
 Fax 401.844.1988

THE NEW HARTFORD PARK
 COMMUNITY CENTER
 50 LAUREL HILL AVENUE
 PROVIDENCE, RHODE ISLAND



ARCHITECTS
 128 Chestnut Street
 Providence, R.I.
 02403
 Tel. 401.844.1000
 Fax 401.844.1988



MECHANICAL: SECOND FLOOR
 PLAN AND ROOF PLAN
 REVISIONS:
 DATE: 04/30/05
 SCALE: AS NOTED

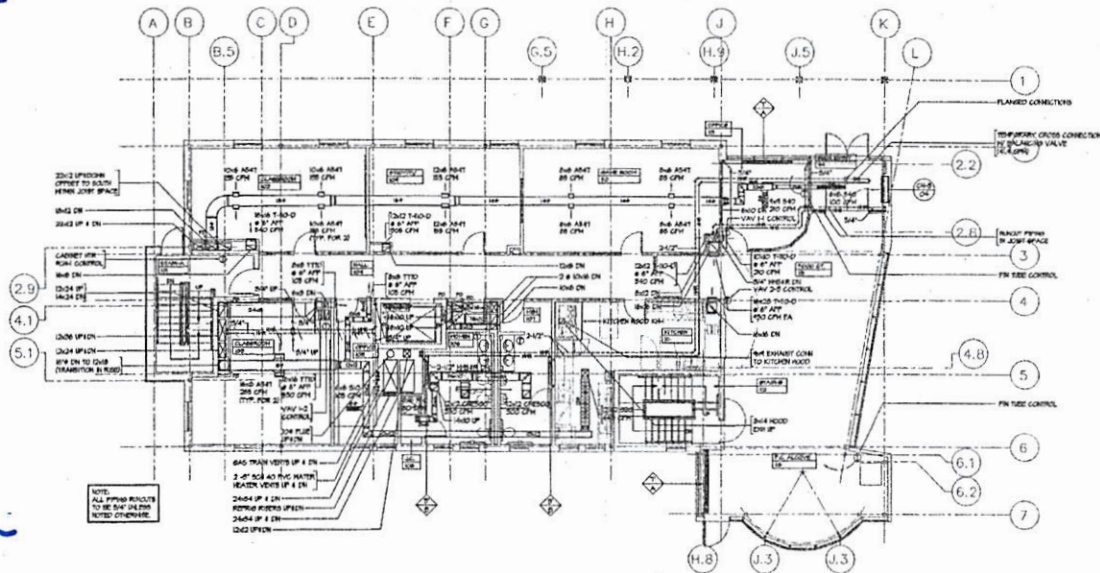
M.1.1

HARTFORD PARK
 Hartford Park 1 M.1-1

5/11/2005 Hartford Park Community Center\20050431.dwg Plot Date: 05/11/2005 10:28:25

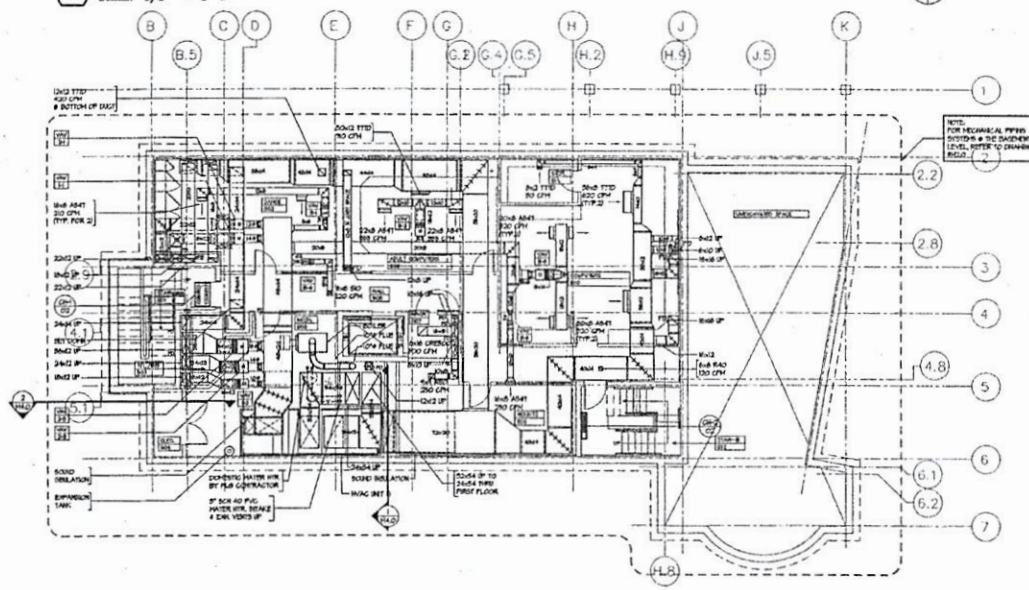
SOCIAL SERVICES & BOYS/GIRLS CLUB
 Basement, Boys & Girls Club, and Offices
 50 Laurel Hill Avenue
 M.1-0

Boys & Girls Club



2 MECHANICAL: FIRST FLOOR PLAN
 M.I.O. SCALE: 1/8" = 1'-0"

Basement



1 MECHANICAL: BASEMENT FLOOR PLAN
 M.I.O. SCALE: 1/8" = 1'-0"

GENERAL NOTES

The drawings are generally elevations and are intended to convey the scope of work and indicate general arrangement of equipment. The location of all indicated items shall be not shown by dimension are approximate only.

MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS UNLESS OTHERWISE SPECIFIED:

- ASME BOILER AND PRESSURE VESSEL CODE
- ASHRAE HANDBOOKS
- INTERNATIONAL MECHANICAL ELECTRICAL PLUMBING AND HEATING EXAMINERS ASSOCIATION (I.M.E.P.H.E.A.)
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES
- NATIONAL ELECTRICAL CODE (NEC)
- NATIONAL FIRE ALARM AND SIGNALING ASSOCIATION (NFAS) CODES
- NATIONAL MECHANICAL ELECTRICAL PLUMBING AND HEATING EXAMINERS ASSOCIATION (N.M.E.P.H.E.A.)
- NATIONAL PLUMBING CODE (NPC)
- NATIONAL SAFETY COUNCIL (NSC) CODES
- NATIONAL WIRE AND CABLE INSTITUTE (N.W.C.I.)
- SMITHSONIAN INSTITUTION (S.I.)
- UL LISTINGS

Coordinate the exact location of all indicated items with the work of other trades and with the existing conditions prior to installation.

The piping layout as indicated in schedules and diagrams is scope and is not intended to show all offsets which may be required. The exact pipe route shall be field coordinated.

Refer to Architectural Mechanical Ceiling Plans and Interior Elevations for the exact location of registers and diffusers.

All piping and ductwork shall be done prior to the completion of the structure and shall be approved by the Authority and Owner. Repairs to services shall be scheduled to minimize down time.

Refer to the PROJECT SPECIFICATION for additional requirements.

WILKINSON ASSOCIATES INC.
 180 Chestnut Street
 Providence, RI 02903
 Tel: 401.844.1800
 Fax: 401.844.8888

THE NEW HARTFORD PARK
 COMMUNITY CENTER
 50 LAUREL HILL AVENUE
 PROVIDENCE, RHODE ISLAND

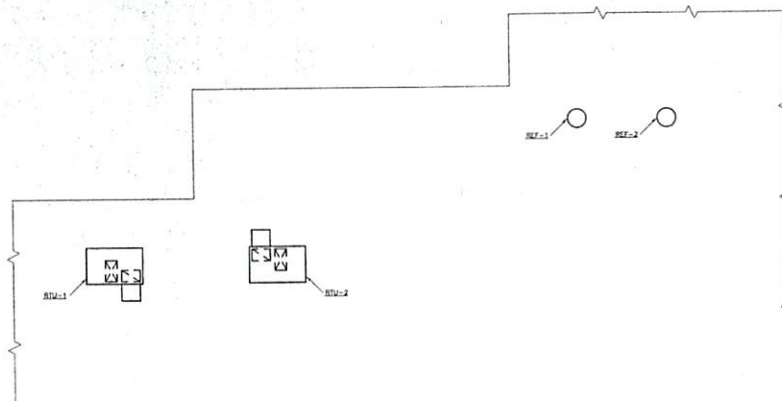
ARCHITECTS
 180 Chestnut Street
 Providence, RI 02903
 Tel: 401.844.1800
 Fax: 401.844.8888

ROBERT S. WILKINSON
 No. 4088
 REGISTERED MECHANICAL ENGINEER

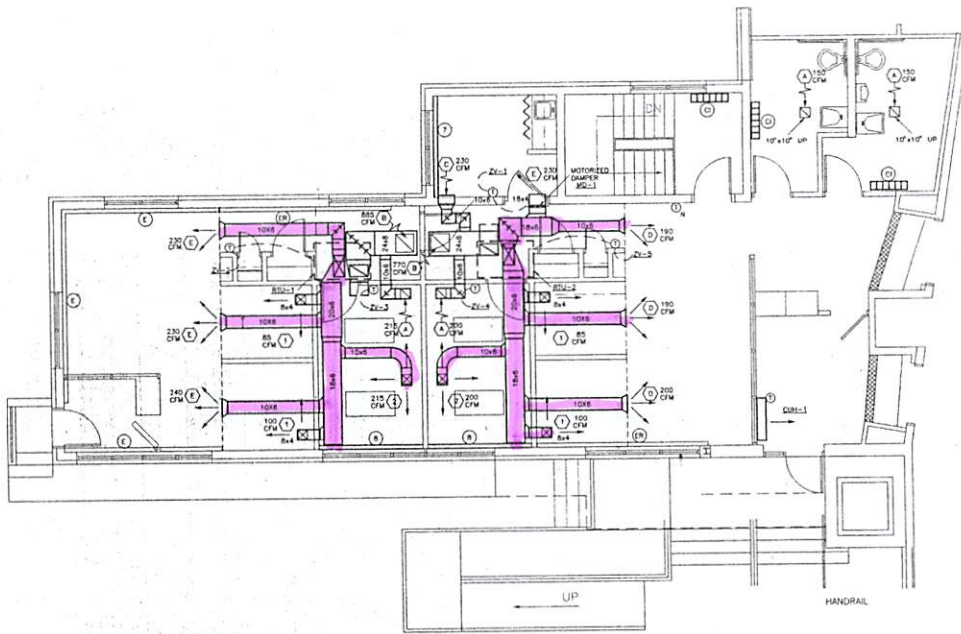
MECHANICAL: BASEMENT AND FIRST FLOOR PLANS
 REVISED:
 DATE: 04.30.08
 SCALE: AS NOTED

PHASE
 M.I.O.

HARTFORD PARK
 Hartford Park 1 M.1-0



PARTIAL ROOF PLAN
 1/4" = 1'-0"



FIRST FLOOR PLAN
 1/4" = 1'-0"

DIFFUSER SCHEDULE				
NO.	CEM	SIZE	BLDF	REMARKS
①	85-100	6"x6"	ZWC	CARNES #5X-25
②	200-215	9"x9"	ZW	CARNES #5X-30

REGISTER SCHEDULE				
NO.	CEM	SIZE	TYPE	REMARKS
①	150-215	10"x10"	RR	CARNES #RTLH
②	775-885	18"x18"	RR	CARNES #RTLH
③	230	18"x4"	RR	CARNES #RTLH
④	190-200	18"x4"	DDR	CARNES #RTDV
⑤	230-240	18"x4"	DDR	CARNES #RTDV

BASEBOARD SCHEDULE				
NO.	RTU	L	H	REMARKS
①	5530	84"	3 1/2"	STERLING MODEL # LB-2
②	8320	96"	3 1/2"	STERLING MODEL # LB-2
③				EXISTING BASEBOARD TO REMAIN
④				EXISTING BASEBOARD IN RELOCATED POSITION
⑤				EXISTING CAST IRON RADIATOR TO REMAIN

202 EXT & 207 TEMP. DROP

ROOFTOP RTU-1 CAPACITY
 1190 CFM VS 1/2" SP. 1/3 HP. COMPRESSOR = 12 BIL. 101 LRA. CONDENSER = 1.8 BIL. 2.5 LRA. 58 WHP COOLING CAPACITY. 108 MINIMUM OUTSIDE AIR. FRAME MODEL #FCC03A, 208V-3Ø. PROVIDE PREFABRICATED ROOF CURB & ECONOMIZER.

ROOFTOP RTU-2 CAPACITY
 1200 CFM VS 1/2" SP. 1/3 HP. COMPRESSOR = 14.4 BIL. 101 LRA. CONDENSER = 1.8 BIL. 2.5 LRA. 45.5 WHP COOLING CAPACITY. 156 MINIMUM OUTSIDE AIR. FRAME MODEL #FCC042, 208V-3Ø. PROVIDE PREFABRICATED ROOF CURB & ECONOMIZER.

REF-1 & 2 CAPACITIES
 150 CFM VS 1/4" SP. 1/25 HP. 1500 RPM. 3 SONES. FERN MODEL #F890 WITH 12" HIGH PREFABRICATED ROOF CURB. 120V-1Ø. INTERLOCK W/LIGHT SWITCHES.

CUH-1 CAPACITY
 200 CFM. 20.3 WHP. 2 CFM. 1/80 HP. TRANE MODEL #R12A002, 120V-1Ø.

PUMP P-1 CAPACITY
 8 GPM VS 20 FOOT HEAD. 1/4 HP. 1750 RPM. TACO MODEL #T800, 120V-1Ø.

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Drawn by: RII
 Checked by: RII

Noted on:

RGB

The Robinson Green Beretta Corporation
 architecture
 engineering
 interior design

50 Holden Street
 Providence, Rhode Island 02908
 401-872-1730

project
**MANTON HEIGHTS
 PHA MODERNIZATION**

Providence
 Rhode Island

**ADMINISTRATION
 BUILDING**

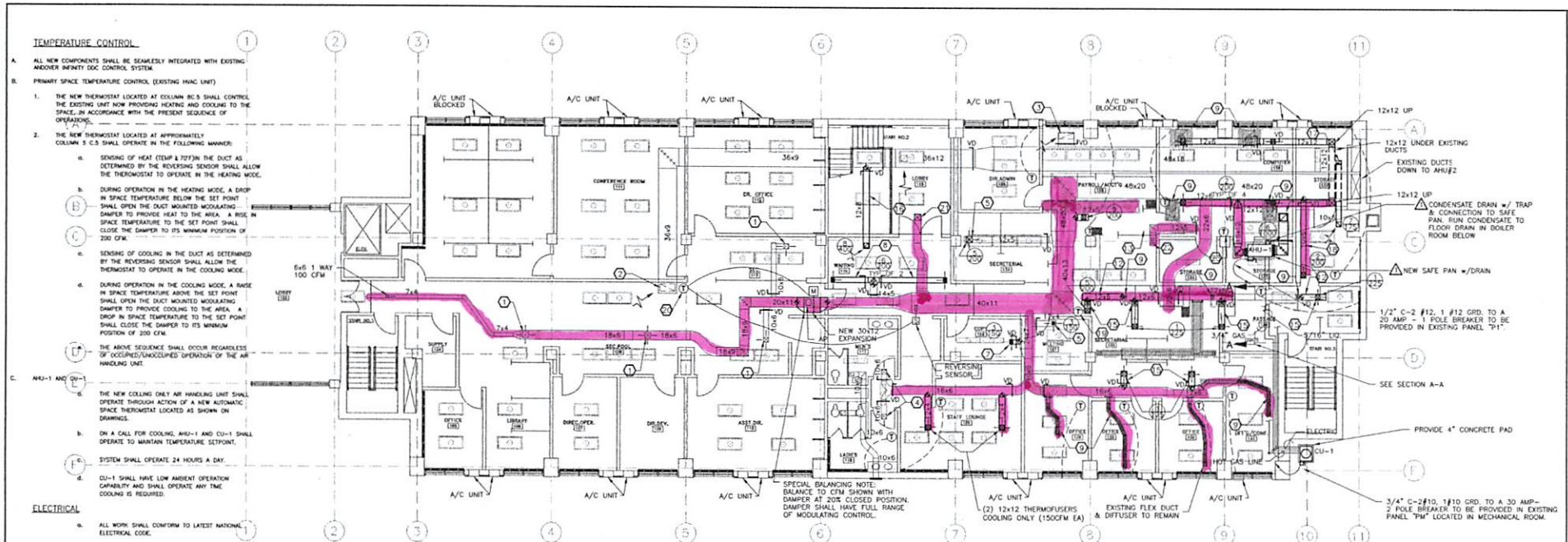
Issued For
 Construction
 issued on: 6-23-95

sheet contents
**FIRST FLOOR
 HVAC PLAN**

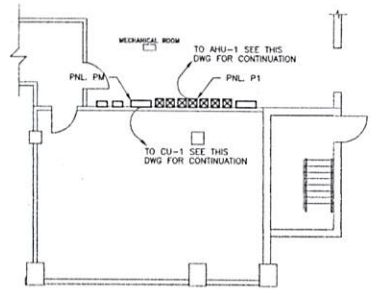
job no. 4513

drawing no.
HVAC-2

sheet 10 of 14



EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"



AIR DEVICE SCHEDULE

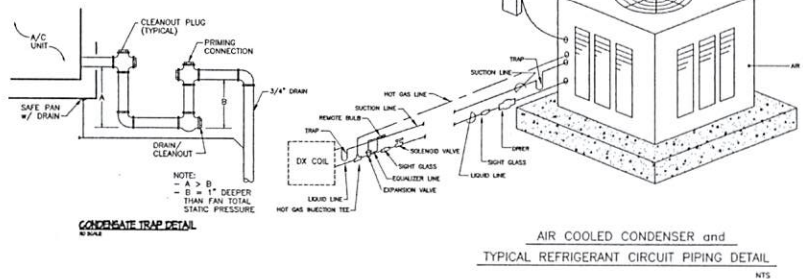
UNIT NO.	MODEL NO.	TYPE	THROW	SIZE	NOTES
1	5000	CEILING	4-WAY	9x9	SUPPLY
2	5000-65	CEILING	2-WAY COR.	9x9	SUPPLY
3	5000	CEILING	3-WAY	9x9	SUPPLY
4	5000	CEILING	4-WAY	12x12	SUPPLY
5	5000	CEILING	3-WAY	9x9	SUPPLY
6	CC50 TB	CEILING	--	20x20	RETURN
7	5000	CEILING	2-WAY COR.	9x9	RETURN
8	5000	CEILING	4-WAY	12x12	RETURN
9	5000	CEILING	1-WAY	9x9	SUPPLY

AIR CONDITIONING SPLIT SYSTEM SCHEDULE

UNIT NO.	MODEL NO.	LOCATION ROOM NO.	CFM	FAN FLA	CAPACITY	COOLING	VOLTAGE	NOTES
AHU-1	THW30P14	1000	2.1	30800	BTUH		200/208/60/1	

UNIT NO.	MODEL NO.	CAPACITY	FAN FLA	FAN FLA	COMP LRA	COMP LRA	TOTAL AMPS	MIN. VOLT	HACR BRKR	VOLTAGE	NOTES
CU-1	TTP0306	38.8	1/5	1.5	12.0	65	17	25	208V/1#		1, 2, 4

NOTES:
 1. COOLING ONLY
 2. PROVIDE 0'F LOW AMBIENT KIT.
 3. UNIT SHALL BE CAPABLE OF 35' OF LIFT AND 100' OF INTERCONNECT.
 4. UL LISTED



GENERAL NOTES

- DUCTWORK: USE GALVANIZED SHEET METAL PER SMACNA STANDARDS.
- INSULATE NEW DUCTS AND REPAIR DISTURBED SECTIONS WITH 1-1/2" FOIL FACED FIBERGLASS WRAP.
- BALANCE SYSTEM AND PROVIDE 3 COPIES OF REPORT.
- CONNECT NEW TO EXISTING.
- INSULATE ALL TUBING FROM CU-1 TO AHU-1 WITH 1/2" ARMAFLEX. COVER EXTERIOR TUBING WITH ALUMINUM WATER PROOF JACKET.
- RE-BALANCE EXISTING DIFFUSER TO 175 CFM
- RE-BALANCE EXISTING RETURN TO 700 CFM
- RE-BALANCE EXISTING RETURN TO 1800 CFM
- RE-BALANCE EXISTING DIFFUSER TO 50 CFM
- REMOVE EXISTING DIFFUSER AND REPLACE
- RE-BALANCE EXISTING DIFFUSER TO 500 CFM
- REMOVE EXISTING 7x4 DUCT AND REPLACE WITH NEW 10x4 DUCT
- BALANCE SYSTEM AND PROVIDE 3 COPIES OF REPORT.
- DISCONNECT AND REMOVE EXISTING DUCT, RETURN GRILL OR DIFFUSER, CAP BRANCH AT TAKE-OFF. CLOSE DUCTING OPENING WITH MATCHING MATERIAL.
- ADD VOLUME DAMPER WHERE (VOLUME) SYMBOL IS SHOWN
- REMOVE EXISTING DUCT AND DIFFUSER AND REPLACE WITH 12x6 EXTENSION AND DIFFUSER
- EXTEND EXISTING DUCT AND ADD NEW 9x9 DIFFUSERS
- NOT USED
- ADD NEW 12x6 DUCT AND DIFFUSER
- ADD NEW 12x8 RETURN DUCT AND DIFFUSER
- REMOVE EXISTING FLEX DUCT AND REPLACE WITH 10x6 DUCT RUN BELOW 500'F HGR.
- ADD NEW 10x6 DUCT AND DIFFUSER
- NEW THERMOSTAT TO CONTROL EXISTING AHU#2
- REMOVE EXISTING THERMOSTAT AND REPLACE WITH NEW
- RE-BALANCE EXISTING DIFFUSER TO 200CFM.
- RE-BALANCE EXISTING DIFFUSER TO 225CFM.
- NEW COOLING ONLY THERMOSTAT FOR AHU#1 (MUST BE COMPATIBLE WITH AND/OVER).

NOTES

- 12x12 UP
- EXISTING DUCTS DOWN TO AHU#2
- CONDENSATE DRAIN w/ TRAP & CONNECTION TO SAFE PAN. RUN CONDENSATE TO FLOOR DRAIN IN DOLLER ROOM BELOW
- NEW SAFE PAN w/ DRAIN
- 1/2" C-2 #12, 1#12 GRID. TO A 20 AMP - 1 POLE BREAKER TO BE PROVIDED IN EXISTING PANEL "P1"
- SEE SECTION A-A
- PROVIDE 4" CONCRETE PAD
- 3/4" C-2 #10, #10 GRID. TO A 30 AMP - 1 POLE BREAKER TO BE PROVIDED IN EXISTING PANEL "P1" LOCATED IN MECHANICAL ROOM.

11-10-00	REVISE MODEL NUMBER	D.D.
9-22-00	ADD SAFE PAN & DRAIN	D.D.

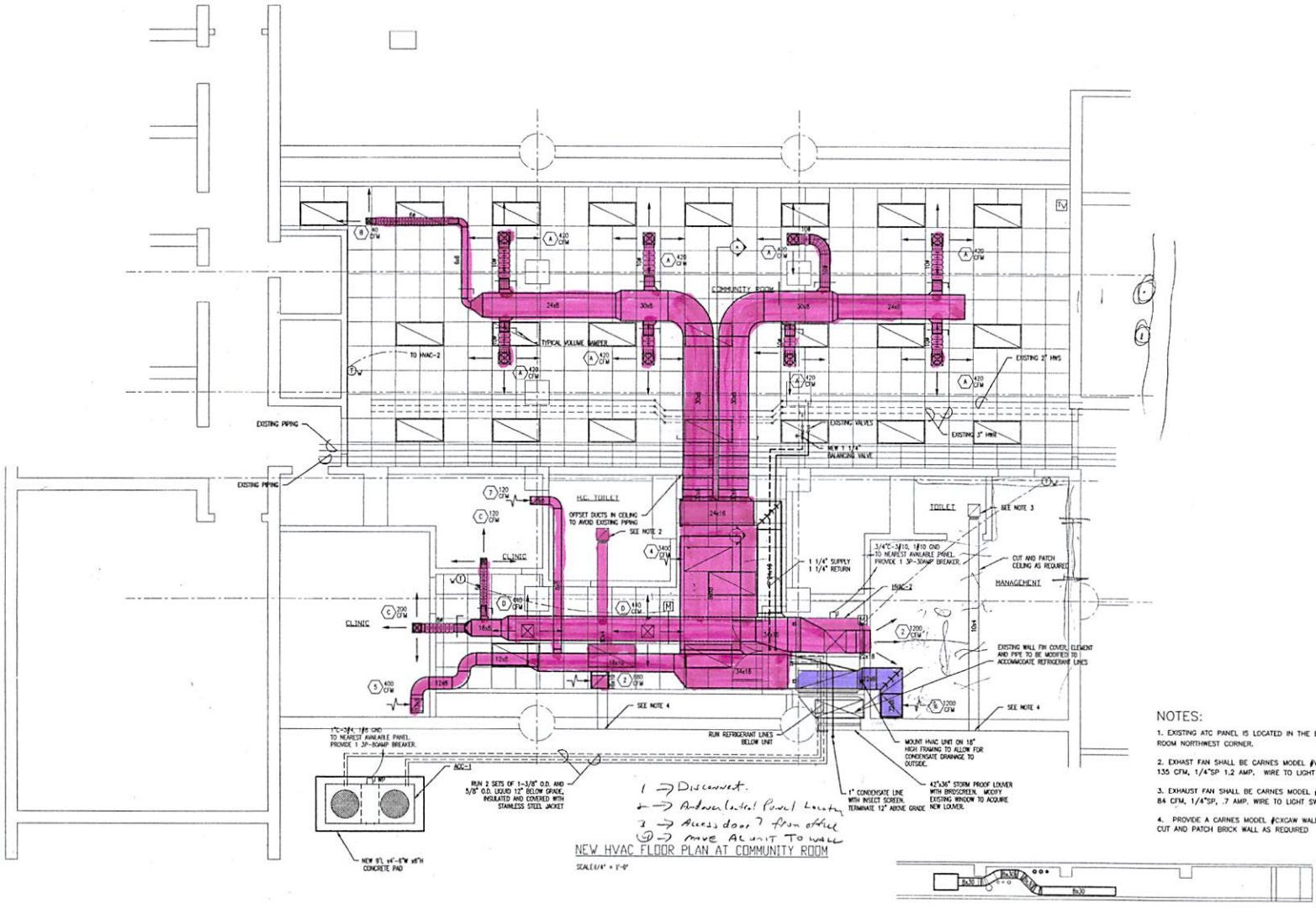
DEXTER MANOR II SECOND FLOOR MANAGEMENT OFFICES HVAC SYSTEMS MODIFICATIONS - FLOOR PLAN
8/9/09

PROVIDENCE HOUSING AUTHORITY
PROVIDENCE, RHODE ISLAND

CREATIVE ENVIRONMENT CORP.
MECHANICAL ENGINEERING
450 WALKER AVENUE EAST PROVIDENCE, RI 02914
PHONE: (401) 421-7400 FAX: (401) 421-7878
MECHANICAL - PLUMBING - FIRE PROTECTION

M-1
J. J. L. 949

DEXTER MANOR
 Community Room and Offices
 100 Broad Street
 HVAC-1



NEW HVAC FLOOR PLAN AT COMMUNITY ROOM
 SCALE 1/4" = 1'-0"

- NOTES:**
- EXISTING ARC PANEL IS LOCATED IN THE BOILER ROOM NORTHWEST CORNER.
 - EXHAUST FAN SHALL BE CARNES MODEL #VC08015, 135 CFM, 1/4"SP, 1.2 AMP. WIRE TO LIGHT SWITCH.
 - EXHAUST FAN SHALL BE CARNES MODEL #VC08-010, 84 CFM, 1/4"SP, .7 AMP. WIRE TO LIGHT SWITCH.
 - PROVIDE A CARNES MODEL #CXAW WALL CAP. CUT AND PATCH BRICK WALL AS REQUIRED.

SECTION 'A'
 SCALE 1/4" = 1'-0"

DEXTER MANOR
 Dexter Manor HVAC-1



R. L. Horridge & Associates, Inc.
 Consulting Engineers
 601 Jefferson Blvd., Warwick, RI 02886
 Tel. (401) 738-1200 Fax (401) 738-8306



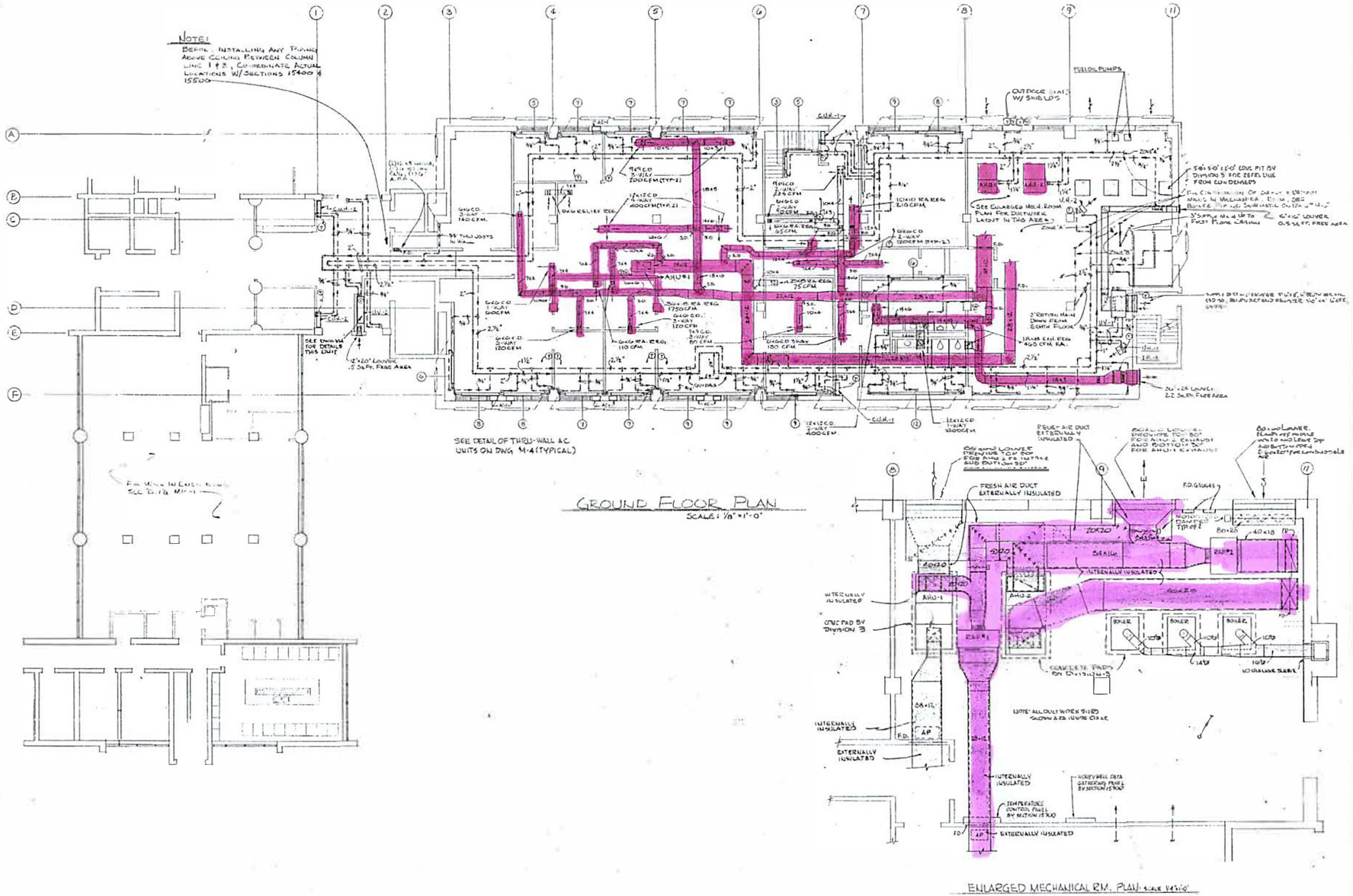
DEXTER MANOR AND KILMARTIN PLAZA COMMUNITY ROOM HVAC
 PROVIDENCE, RHODE ISLAND

JOB NO. 99-1187
 DWN BY MWL
 CDR BY RLH
 DATE 12/28/99
 SCALE AS NOTED

SHEET CONTENT
 HVAC PLAN
 DEXTER MANOR

SHEET NO.
HVAC-1
 SHEET 5 OF 7

1-08
 Drafting Manual 1



PLANNERS
CASTELLUCCI, GALLI
 JOINT VENTURE CORPORATION
 ARCHITECTS
 PROVIDENCE, R.I.

DAVID A. GALE
 REGISTERED PROFESSIONAL ENGINEER
 JULY 30, 1932

ADDITION TO DEXTER MANOR
 PROVIDENCE HOUSING AUTHORITY
 PROVIDENCE, R.I.

PROJECT NO. B1-7
 SCALE AS SHOWN
 DATE 10-25

SHEET TITLE
 GROUND FLOOR PLAN W/AC
 AND SUGGESTED MECHANICAL ROOM

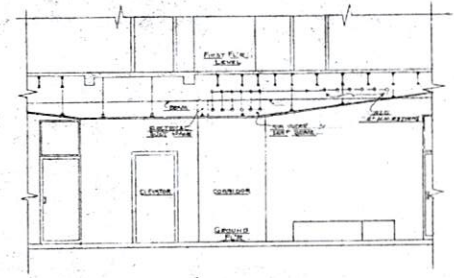
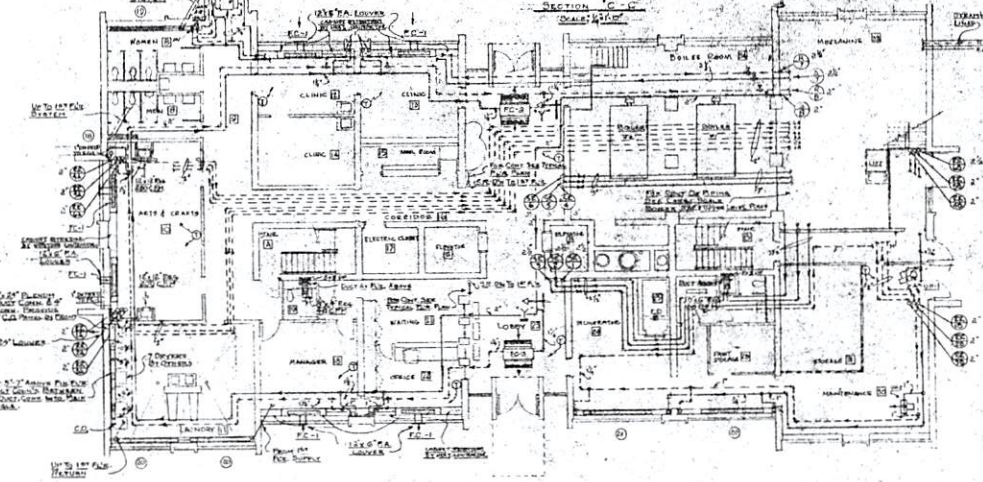
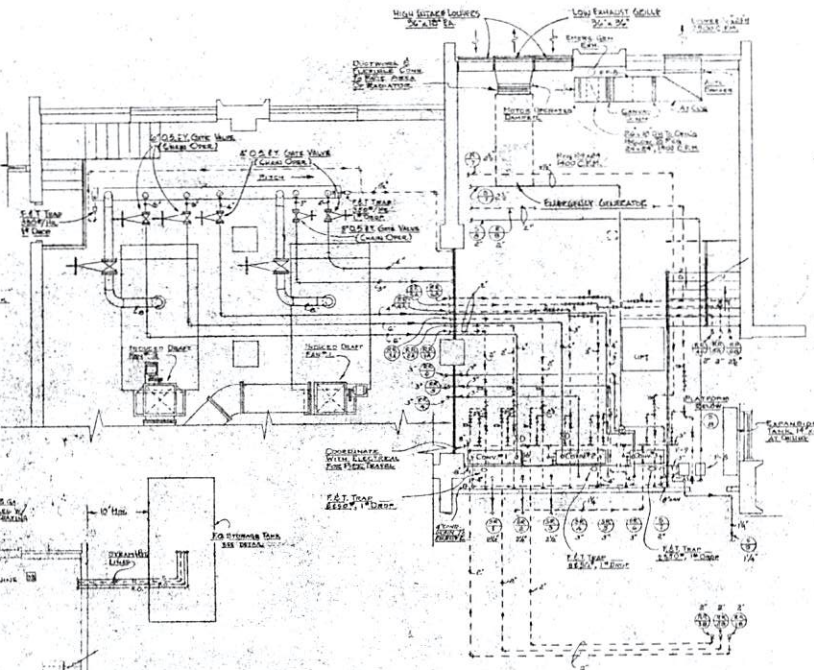
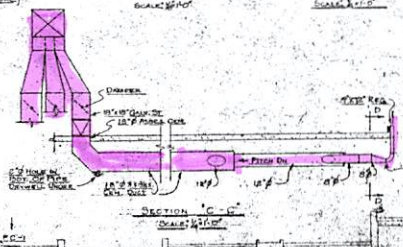
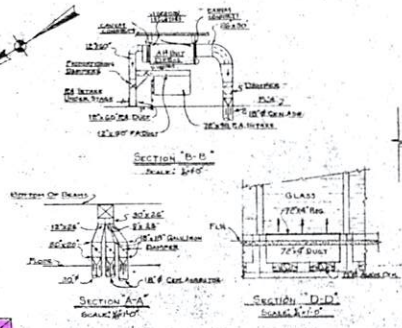
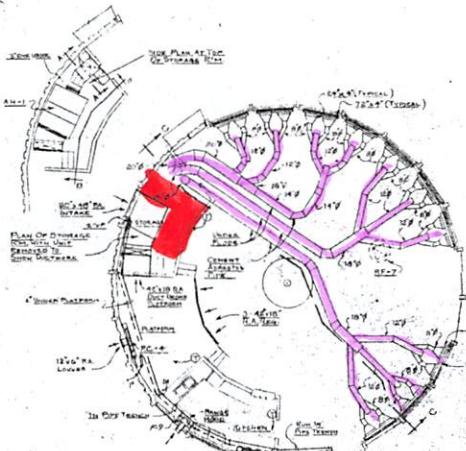
DRAWN BY W.D.M.P.
 CHECKED BY D.D.
 APPROVED BY

DRAWING NO.

M-1

DEXTER MANOR
 Dexter Manor M.1 ADD

DOMINICA MANOR
 Stage Area
 100 Atwells Avenue
 M.308

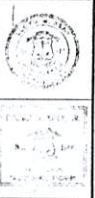


P. H. A.
 PROJECT NO.
R.I. 1-9
 FOR THE
 HOUSING
 AUTHORITY
 OF THE
 CITY
 OF
 PROVIDENCE
 RHODE ISLAND
 KENT
 CRUISE &
 ASSOCIATES
 ARCHITECTS &
 ENGINEERS
 PROVIDENCE
 RHODE ISLAND
 R. WENDELL
 PHILLIPS, JR.
 ASSOCIATE
 ARCHITECT
 BOSTON
 MASSACHUSETTS

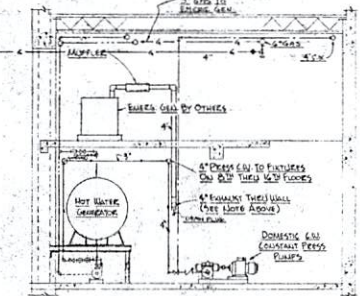
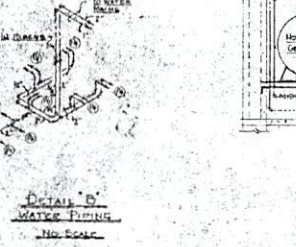
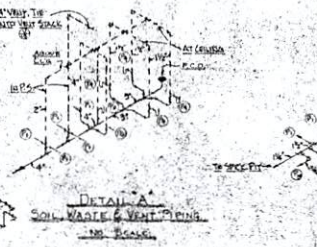
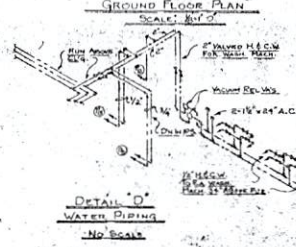
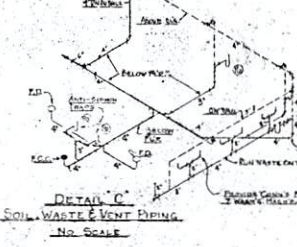
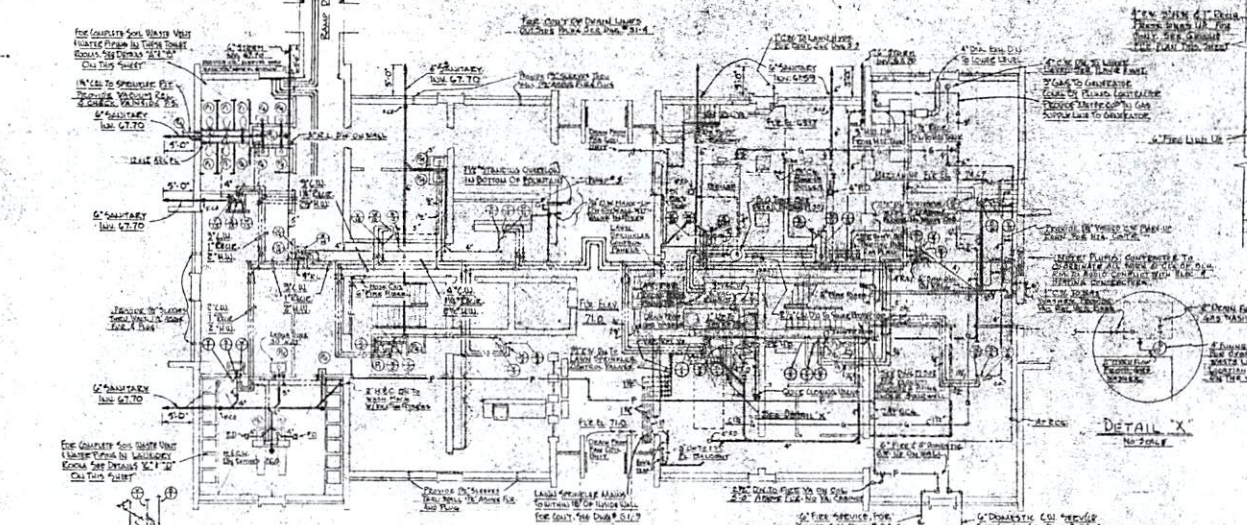
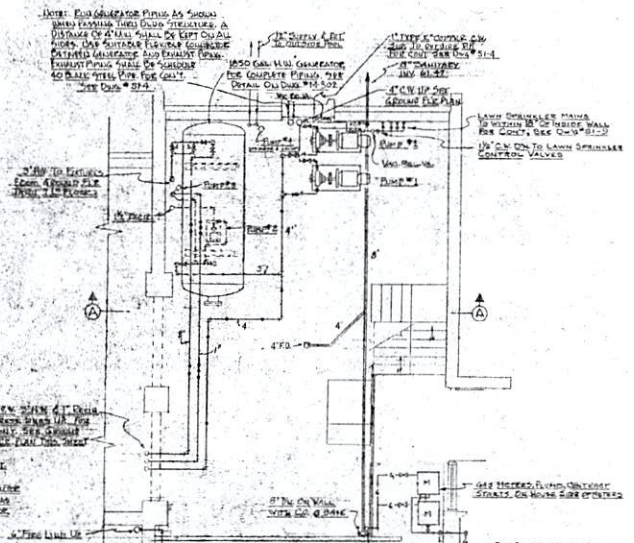
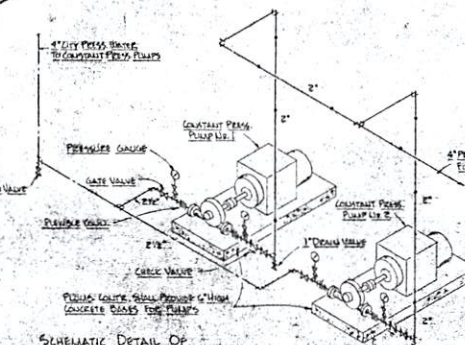
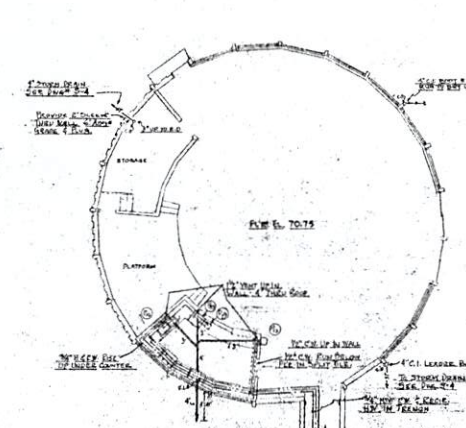
GROUND
 FLOOR
 PLAN

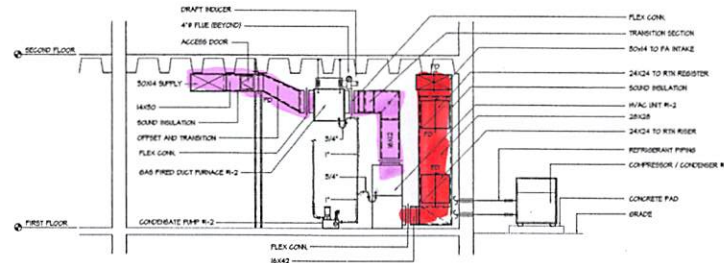
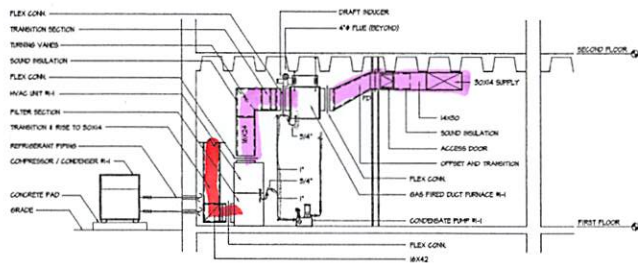
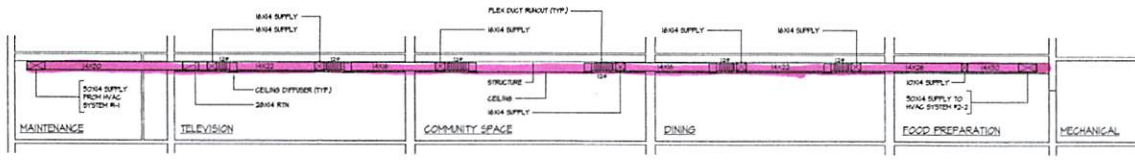
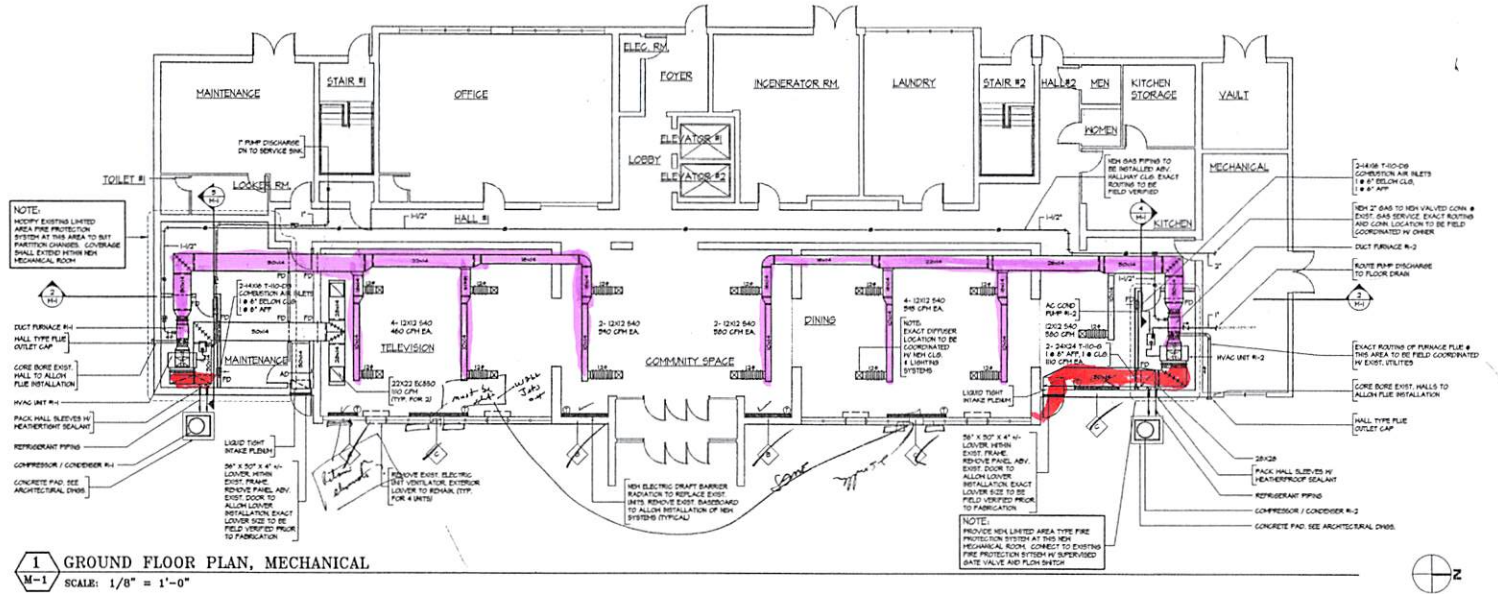
REV	DATE	DESCRIPTION	BY
	JUNE 64	ESP	M
		SCALE	APPROVED
		NOTED	D.T.K.

DOMINICA MANOR
 Dominica Manor M.308



REV.	DATE	DESCRIPTION	BY
DATE	JUNE 64	DRAWN	EF-RH
SCALE		APPROVED	M
NOTED			301





GENERAL NOTES

The drawings are generally diagrammatic and are intended to convey the scope of work and indicate general arrangement of equipment. The location of all indicated items that are not fixed by dimension are approximate only.

Match maximum space conditions at all points. Where space conditions appear inadequate, notify the Architect before proceeding with the installation.

Coordinate the exact location of all materials with the work of other trades and with the existing conditions prior to installation.

All materials to be removed shall be removed from the project site in their entirety, including all hangers, supports and appurtenances.

The piping layout as indicated in schematic and diagrammatic in scope and is not intended to show all offsets which may be required. The exact pipe route shall be field coordinated.

Refer to Architectural Reflected Ceiling Plans and Interior Elevations for the exact location of registers and diffusers.

All system shut-downs shall be with prior approval of the Owner. Interruptions to services shall be scheduled to minimize down time.

Refer to the PROJECT SPECIFICATION for additional requirements.

ROBERT S. WILKINSON
 No. 4589
 REGISTERED PROFESSIONAL ENGINEER

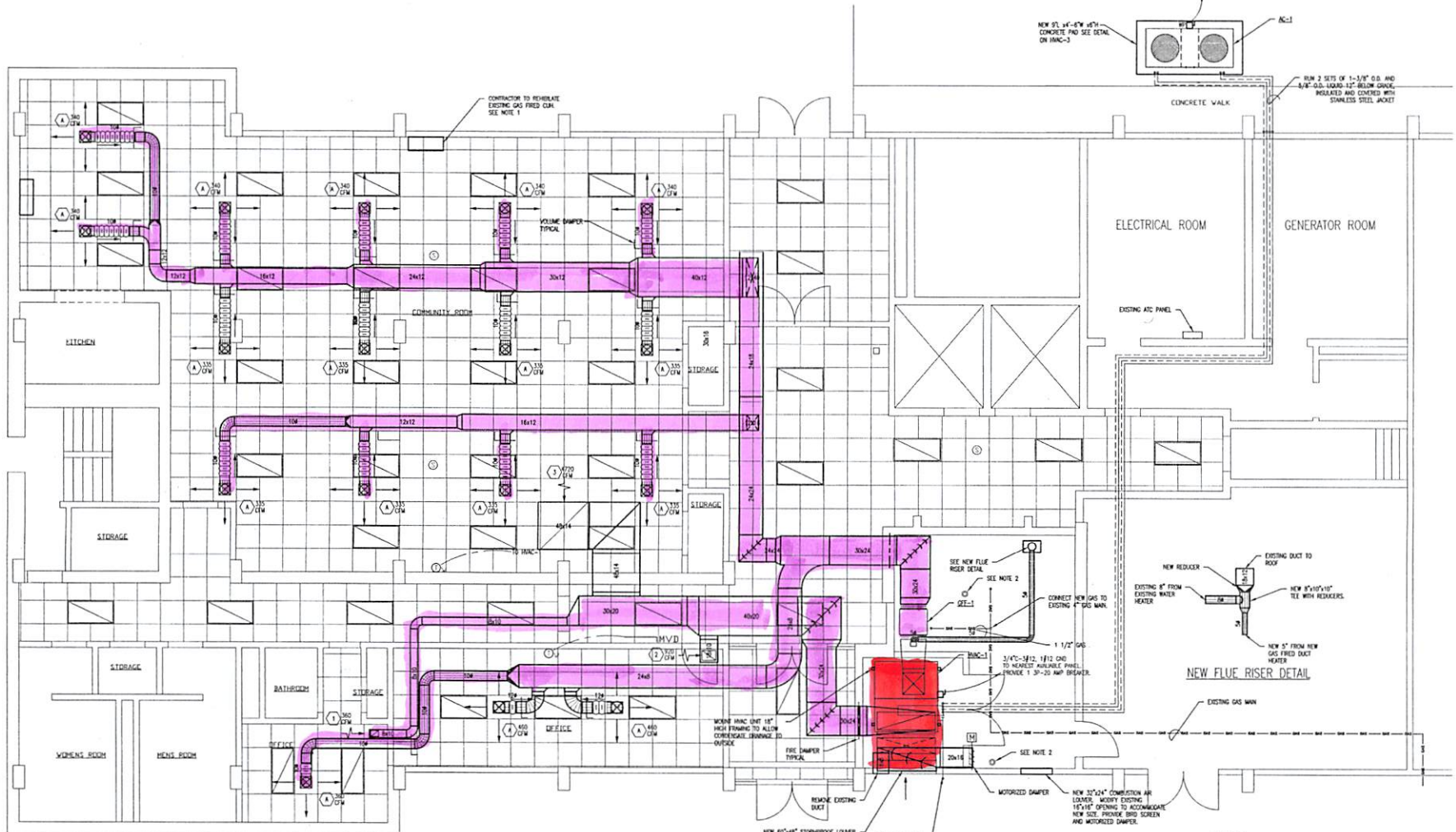
WILKINSON ASSOCIATES INC
 CONSULTING ENGINEERS
 813 Johnson Industrial Park 7 West, Suite 1000
 Memphis (901) 737-4352

PROJECT: GROUND FLOOR HVAC SYSTEM AT CARROLL TOWER
 MECHANICAL GROUND FLOOR PLAN HVAC SYSTEMS INSTALLATION

PROJECT /	4504
DRAWN BY:	MEC
CHECKED BY:	RSW
SCALE:	AS NOTED
DATE:	APRIL 1982

M-1

KILMARTIN PLAZA
 Community Room, Clinics, and Bathrooms
 160 Benedict Street
 HVAC-2



NEW HVAC FLOOR PLAN AT KILMARTIN PLAZA
 SCALE: 1/4" = 1'-0"

- NOTE**
1. SEE ARCHITECTURAL PLANS FOR RELOCATION AND REMOVALS OF EXISTING HEATING EQUIPMENT.
 2. CONTRACTOR TO REINSTALL 2 NEW PENDENT TYPE SPRINKLER HEADS IN EXISTING CAPPED CONNECTORS IN MECHANICAL ROOM.



RJH
 R. L. Horridge & Associates, Inc.
 Consulting Engineers
 801 Jefferson Blvd., Newark, NJ 07102
 Tel. (401) 739-1200 Fax (401) 739-0505



DEXTER MANOR AND KILMARTIN PLAZA COMMUNITY ROOM HVAC
 PROVIDENCE, RHODE ISLAND

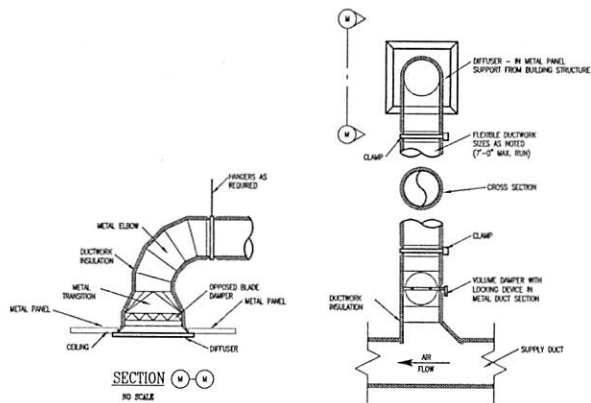
JOB NO. 99-1107
 DWN BY MWL
 CHE BY RLH
 DATE 12/28/99
 SCALE AS NOTED

SHEET CONTENT
 HVAC PLAN
 KILMARTIN PLAZA

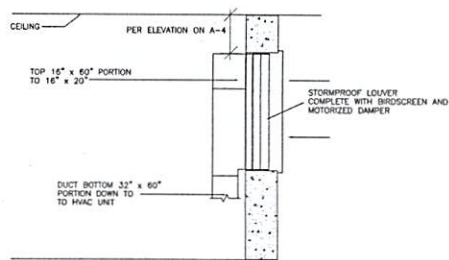
SHEET NO.
 HVAC-2

SHEET 6 OF 7

KILMARTIN PLAZA
 Kilmartin Plaza HVAC-2



TYPICAL ROUND FLEX DUCT BRANCH DETAIL
 NO SCALE



COMBUSTION AIR LOUVER DETAIL
 NOT TO SCALE

HEATING, VENTILATING & AIR CONDITIONING UNIT SCHEDULE													
MODEL	CFM	TSP	HP	VOLUME	HEATING		COOLING		WPL GAS		WEIGHT LBS	ACCESSORIES 1	REMARKS
					CFM	MBH	CFM	MBH	S	CFM			
HVAC-1	6,000	2.25	5	4600-34	-	-	N/A	150	10%	600	N/A	FWD	FRAME MODEL # MCC-124
HVAC-2	6,000	2.25	5	208V-34	96,000	96.0	N/A	180	10%	600	N/A	FWD	FRAME MODEL # MCC-124

* FWD = FILTER WASH BOX WITH DAMPERS

GAS FIRED FURNACE SCHEDULE						
MODEL	CFM	TSP	FLA	CFM	MBH	REMARKS
GTZ-1	6000	.86	1.8	500	400	FRAME MODEL #Z04M0000E02

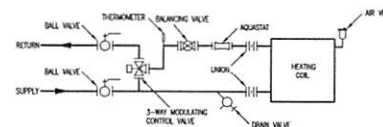
PROVIDE MODULATING GAS VALVES, 5/8\"/>

AIR COOLED CONDENSING UNIT SCHEDULE						
MODEL	COOL MBH	COMPRESSOR		CONDENSER		REMARKS
		FLA	LBS	HP	FLA	
ACC-1	150	(2) 12.8	(2) 79.0	(2) 5	(2) 1.6	FRAME MODEL # ITA180B
ACC-2	150	(2) 25.7	(2) 164.0	(2) 5	(2) 3.1	FRAME MODEL # ITA180B

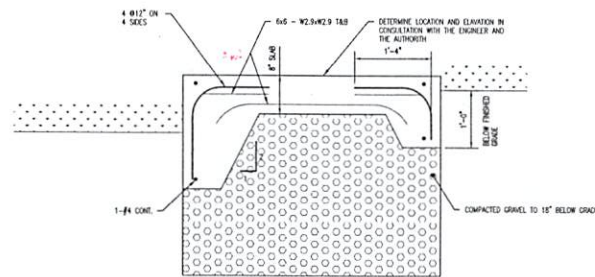
ACC-1 = 450-34, ACC-2 = 208-34

GRILLE & DIFFUSER SCHEDULE					
MODEL	WHL CFM	SIZE	TYPE	REMARKS	
A	480	12\"/>			

PROVIDE VOLUME DAMPERS IN BRANCH DUCTS FOR ALL UNITS WHERE GRILLES AND DIFFUSERS ARE LOCATED IN CEILING TRAYS. PROVIDE 2\"/>



WATER COIL PIPING DETAIL
 NO SCALE



CONCRETE PAD DETAIL
 SCALE: 1\"/>

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DEXTER MANOR AND KILMARTIN PLAZA COMMUNITY ROOM HVAC
 PROVIDENCE, RHODE ISLAND

JOB NO. 99-1187
 DWN BY MWL
 CHK BY RLH
 DATE 12/28/99
 SCALE AS NOTED

SHEET CONTENT
 SCHEDULES & DETAILS

SHEET NO.
HVAC-3

SHEET 7 OF 7

